

REVISIONS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.1(1) OF THE BUILDING CODE	
RYAN VIS M.A.A.T.O.	28412
NAME	BCN
REGISTRATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.1(1) OF THE BUILDING CODE	
VISION DESIGN & DEVELOPMENT	100840
FIRM	BCN
REGISTRATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.1(1) OF THE BUILDING CODE	

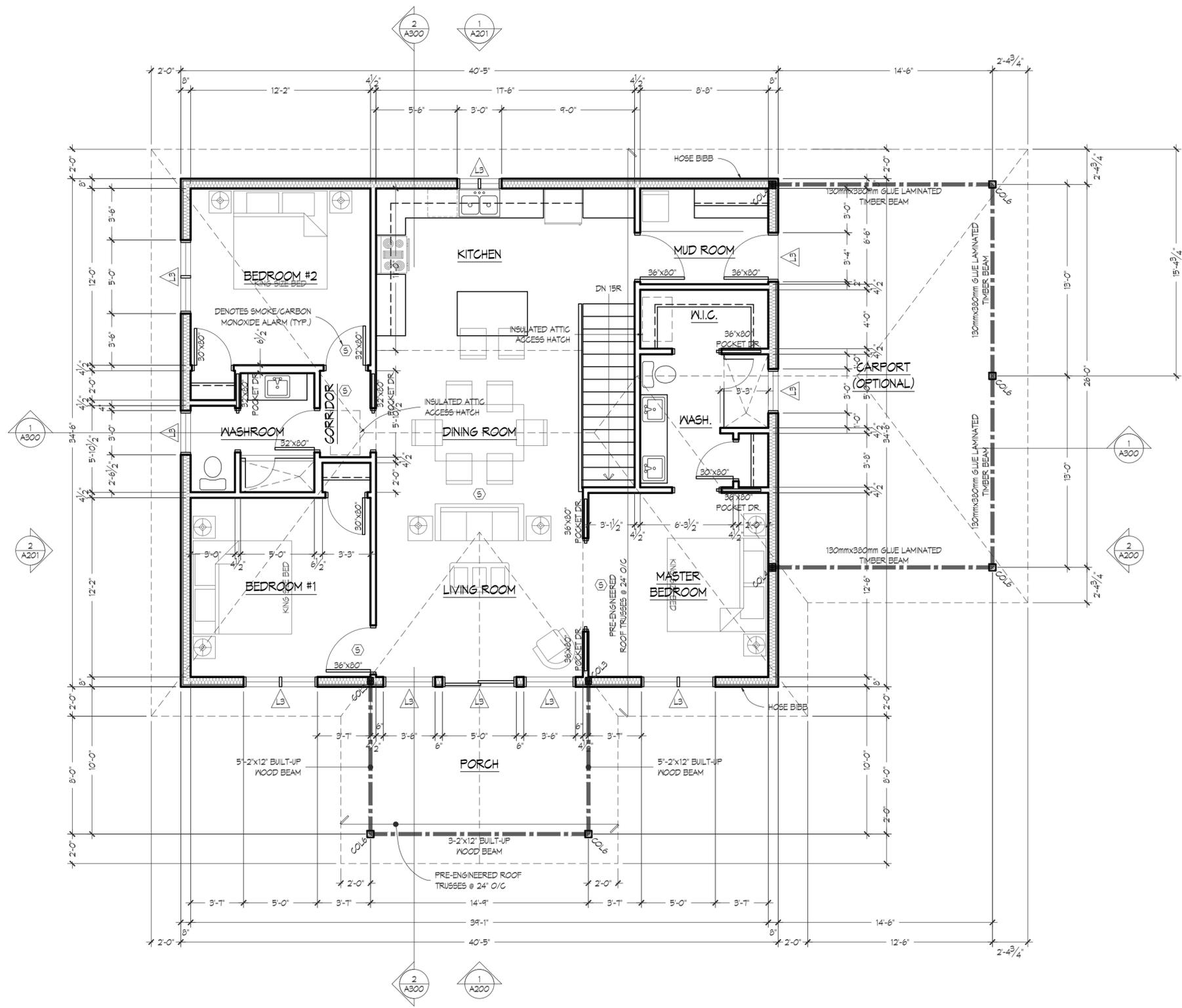


SINGLE FAMILY RESIDENCE (REVISED)

WAHNAPIITAE FIRST NATION, ONTARIO

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY INCONSISTENCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. DRAWINGS AND INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE DESIGNER AND ARE PROTECTED BY COPYRIGHT. DO NOT SCALE DRAWINGS.

PROJECT	2603	DRAWN BY	R. VIS	BCN	26412/100840
DATE	MAR. 5, 2026	SCALE	3/16" = 1'-0"		
DESCRIPTION	FOUNDATION FLOOR PLAN				
DRAWING	A100				



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 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.1(1) OF THE BUILDING CODE
 RYAN VIS M.A.A.T.O. *Ryan Vis* 28412
 NAME SIGNATURE BCN
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.1(1) OF THE BUILDING CODE
 VISION DESIGN & DEVELOPMENT 100840
 FIRM REGISTRATION INFORMATION BCN
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.1(1) OF THE BUILDING CODE



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SINGLE FAMILY RESIDENCE (REVISED)

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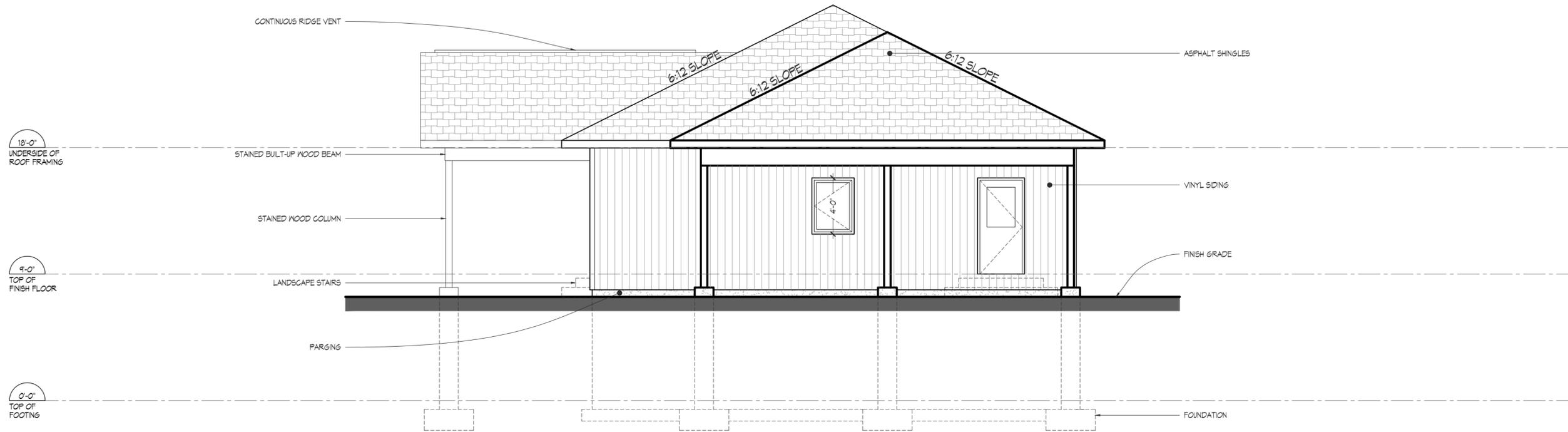
PROJECT 2603 DRAWN BY R. VIS BCN 26412/100840
 DATE MAR. 5, 2026 SCALE 3/16" = 1'-0"

DESCRIPTION MAIN FLOOR PLAN
 DRAWING

A101



1 EXTERIOR ELEVATION
3/16" = 1'-0"



2 EXTERIOR ELEVATION
3/16" = 1'-0"

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RYAN VIS M.A.A.T.O. *Ryan Vis* 28412
NAME SIGNATURE BCN
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VISION DESIGN & DEVELOPMENT 100840
FIRM REGISTRATION INFORMATION BCN
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.1(4) OF THE BUILDING CODE



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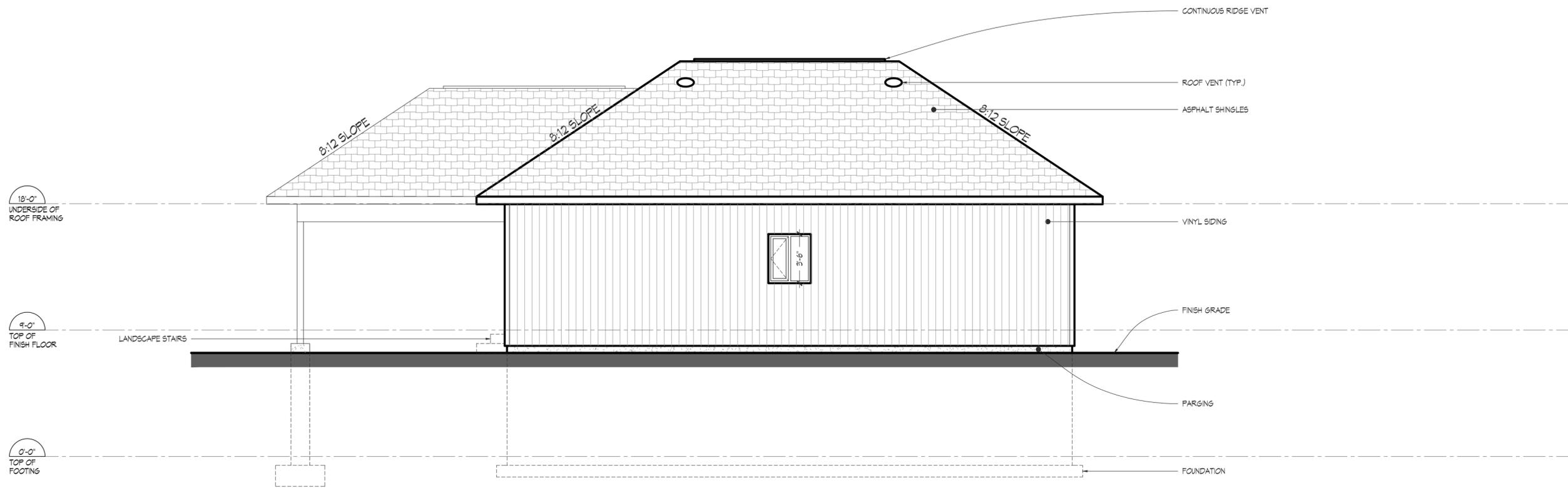
SINGLE FAMILY RESIDENCE (REVISED)

WAHNAPIITAE FIRST NATION, ONTARIO

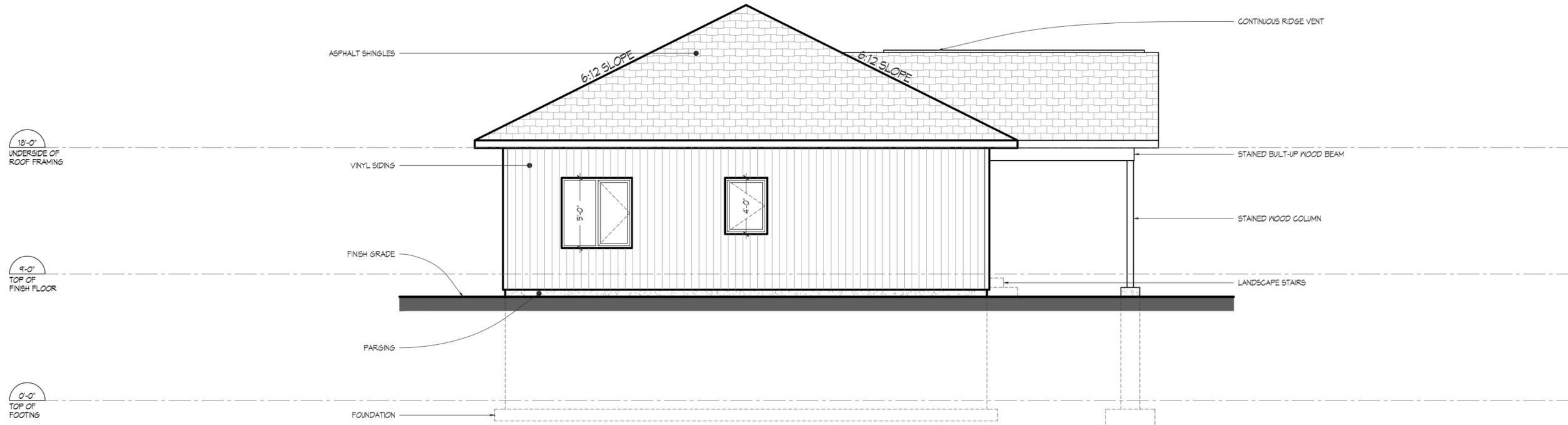
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PROJECT	2603	DRAWN BY	R. VIS	BCN	26412/100840
DATE	MAR. 5, 2026	SCALE	3/16" = 1'-0"		
DESCRIPTION	EXTERIOR ELEVATIONS				

DRAWING **A200**



1 EXTERIOR ELEVATION
3/16" = 1'-0"



2 EXTERIOR ELEVATION
3/16" = 1'-0"

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RYAN VIS M.A.A.T.O. *Ryan Vis* 28412
NAME SIGNATURE BCN
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.1(1) OF THE BUILDING CODE

VISION DESIGN & DEVELOPMENT 102840
FIRM REGISTRATION INFORMATION BCN
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.1(1) OF THE BUILDING CODE



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SINGLE FAMILY RESIDENCE (REVISED)

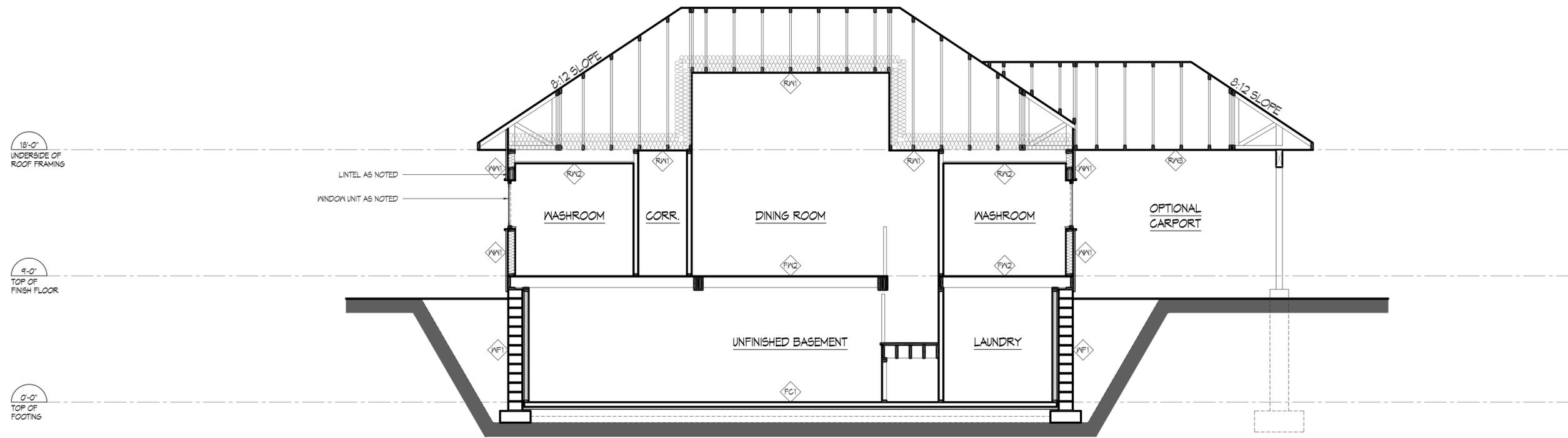
WAHNAPITAE FIRST NATION, ONTARIO

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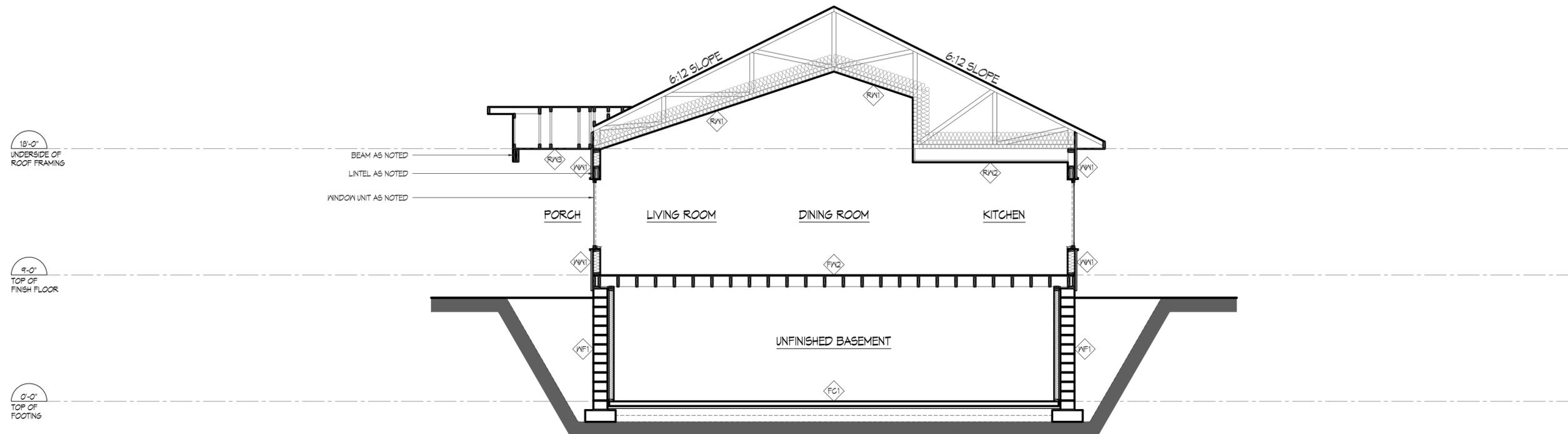
PROJECT	2603	DRAWN BY	R. VIS	BCN	26412/100640
DATE	MAR. 5, 2026	SCALE	3/16" = 1'-0"		

DESCRIPTION: EXTERIOR ELEVATIONS

DRAWING: **A201**



1 BUILDING SECTION
3/16" = 1'-0"



2 BUILDING SECTION
3/16" = 1'-0"

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REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.1(1) OF THE BUILDING CODE

VISION DESIGN & DEVELOPMENT 100840
FIRM BCN
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.1(1) OF THE BUILDING CODE



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WAHNAPIITAE FIRST NATION, ONTARIO

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PROJECT	2603	DRAWN BY	R. VIS	BCN	26412/100840
DATE	MAR. 5, 2026	SCALE	3/16" = 1'-0"		

DESCRIPTION BUILDING SECTIONS
DRAWING

A300

GENERAL

- DO ALL WORK IN CONFORMANCE WITH ALL APPLICABLE CODES, REGULATIONS INCLUDING LATEST VERSION OF THE ONTARIO BUILDING CODE AND ALL REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION.
- ALL DIMENSIONS MUST BE CONFIRMED ON SITE BY CONTRACTOR. CAREFULLY EXAMINE ALL EXISTING SITE CONDITIONS AND BUILDING COMPONENTS ALONG WITH ALL DIMENSIONS WHICH WILL AFFECT THE PROPER EXECUTION OF THE WORK TO OBTAIN A CLEAR AND COMPREHENSIVE UNDERSTANDING OF THE WORK REQUIRED TO COMPLETE THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AND NOTIFY THE DESIGNER FOR REQUIRED INSPECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE DESIGNER OF ANY DISCREPANCIES AND OR CHANGES IN THE WORK.
- PROTECT EXISTING BUILDING AND FINISHES FROM DAMAGE. REPLACE DAMAGED EXISTING WORK WITH MATERIAL AND FINISH TO MATCH ORIGINAL.

ARCHITECTURAL

- MAKE GOOD ALL EXISTING MATERIALS AND FINISHES TO REMAIN AFFECTED BY DEMOLITION, REMOVALS AND ALTERATIONS.
- UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL REMOVE ALL DEBRIS AND SURPLUS MATERIALS, VACUUM CLEAN ALL FLOORS AND WASH FLOORS THROUGHOUT.
- CLEAN ALL WALLS, FIXTURES, HARDWARE AND GLAZING FREE OF DIRT, DUST, FINGER MARKS, ETC....

ROUGH CARPENTRY

- CANADIAN SOFTWOOD PLYWOOD (CSP): TO CSA 0151, STANDARD CONSTRUCTION. PLYWOOD, OSB AND WOOD BASED COMPOSITE PANELS: TO CAN/CSA-0323.
- FRAME, ANCHOR, FASTEN, TIE AND BRACE MEMBERS TO PROVIDE NECESSARY STRENGTH AND RIGIDITY. COUNTERSINK BOLTS WHERE NECESSARY TO PROVIDE CLEARANCE FOR OTHER WORK.

FINISHED CARPENTRY

- PROTECT MATERIALS AGAINST DAMPNESS DURING AND AFTER DELIVERY. STORE MATERIALS IN VENTILATED AREAS, PROTECTED FROM EXTREME CHANGES OF TEMPERATURE OR HUMIDITY.
- SOFTWOOD LUMBER: UNLESS SPECIFIED OTHERWISE, S4S, MOISTURE CONTENT 19% OR LESS IN ACCORDANCE WITH FOLLOWING STANDARDS:
- CAN/CSA 0141. NLGA STANDARD GRADING RULES FOR CANADIAN LUMBER. AWMAK PREMIUM GRADE, MOISTURE CONTENT AS SPECIFIED. MACHINE STRESS-RATED LUMBER IS ACCEPTABLE FOR ALL PURPOSES.
- HARDWOOD LUMBER: MOISTURE CONTENT 12% OR LESS IN ACCORDANCE WITH FOLLOWING STANDARDS: NATIONAL HARDWOOD LUMBER ASSOCIATION (NHLA). AWMAK PREMIUM GRADE, MOISTURE CONTENT AS SPECIFIED.
- CANADIAN SOFTWOOD PLYWOOD (CSP): TO CSA 0151, STANDARD CONSTRUCTION.
- HARDWOOD PLYWOOD: TO CSA 0115. POPLAR PLYWOOD (PP): TO CSA 0153, STANDARD CONSTRUCTION.
- PARTICLEBOARD: TO ANSI A208.1.
- MEDIUM DENSITY FIBREBOARD (MDF): TO ANSI A208.2, DENSITY 769 KG/MN.
- DO FINISH CARPENTRY TO QUALITY STANDARDS OF THE ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA (AWMAC), EXCEPT WHERE SPECIFIED OTHERWISE. SCRIBE AND CUT AS REQUIRED, FIT TO ABUTTING WALLS, AND SURFACES, FIT PROPERLY INTO RECESSES AND TO ACCOMMODATE PIPING, COLUMNS, FIXTURES, OUTLETS, OR OTHER PROJECTING, INTERSECTING OR PENETRATING OBJECTS. FORM JOINTS TO CONCEAL SHRINKAGE.

MECHANICAL

- ALL MATERIALS SHALL CONFORM TO CSA, HEPC AND CEC REQUIREMENTS AND SHALL BEAR CSA LABEL.
- SUPPLY AND INSTALL ALL NECESSARY ACCESS DOORS FOR MECHANICAL SERVICES AND EQUIPMENT. WHERE NECESSARY, DOORS SHALL BE RATED TO SUIT FIRE ASSEMBLY RATING.
- INSTALL CHROME-PLATED ESCUTCHEONS WHERE BRANCH PIPES PASS THROUGH FINISHED SURFACE.
- DUCTWORK SHALL BE FABRICATED AND INSTALLED IN STRICT ACCORDANCE WITH LATEST SMACNA STANDARDS AND SHALL BE MANUFACTURED OF GALVANIZED STEEL UNLESS SPECIFICALLY NOTED OTHERWISE.
- INSTALL MANUAL BALANCING DAMPERS AT ALL BRANCH TAKEOFFS AND IN OTHER LOCATIONS WHERE NECESSARY FOR SYSTEM BALANCING.
- FLEXIBLE DUCTWORK SHALL BE ALUMINUM HELICALLY WOUND SPIRAL DUCT WITH TAPED AND SCREWED JOINTS. MAXIMUM LENGTH OF ANY FLEX RUN-OUT

PLUMBING & DRAINAGE INSIDE THE BUILDING

- ALL WORK SHALL BE EXECUTED BY LICENSED PLUMBERS.
- ALL PLUMBING AND DRAINAGE WORK SHALL BE INSTALLED AS REQUIRED BY ONTARIO BUILDING CODE, REVISED TO DATE, AND SHALL MEET THE REQUIREMENTS OF ALL PROVINCIAL AND MUNICIPAL AUTHORITIES HAVING JURISDICTION.

ELECTRICAL

- ALL WORK SHALL COMPLY STRICTLY TO THE REQUIREMENTS OF THE LATEST EDITIONS OF THE CANADIAN ELECTRICAL "CSA" CODE AS ADOPTED AND AMENDED BY PROVINCIAL REGULATIONS AND THE BUILDING CODE. THESE CODES AND ANY ADDITIONAL REQUIREMENTS OF THE POWER UTILITY SHALL FORM AN INTEGRAL PART OF THIS SPECIFICATION. ALL EQUIPMENT SHALL BE CSA APPROVED. WHERE DRAWING CALLS FOR EQUIPMENT, WIRING OR OTHER REQUIREMENTS EXCEEDING THE MINIMUM REQUIREMENTS OF THE CODE, THE DRAWING SHALL BE FOLLOWED.
- ALL MATERIALS SHALL BE NEW AND FREE FROM DEFECTS, NOISE AND VIBRATION. ALL EQUIPMENT SHALL BE CSA APPROVED.

CONTRACT DOCUMENTS

BIDDERS MUST FAMILIARIZE THEMSELVES WITH THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS PRIOR TO QUOTE SUBMISSION. NO CONSIDERATION WILL BE GIVEN TO A BIDDER'S FAILURE TO COMPLY WITH THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS. EXAMINE THE CONSTRUCTION DOCUMENTS UPON RECEIPT THEREOF, AND SHOULD YOU DISCOVER ANY ERRORS, CONTRADICTIONS, OR OMISSIONS THEREIN, IMMEDIATELY NOTIFY THE DESIGNER SO THAT FURTHER INSTRUCTIONS IN WRITING MAY BE ISSUED

TO ALL BIDDERS.

THE CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ANY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. WORDS AND ABBREVIATIONS WHICH HAVE WELL KNOWN TECHNICAL OR TRADE MEANINGS ARE USED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH SUCH RECOGNIZED MEANINGS.

DISCREPANCIES AND / OR OMISSIONS

IF THE BIDDER FINDS DISCREPANCIES IN, OR OMISSIONS FROM THE CONSTRUCTION DOCUMENTS OR HAS ANY DOUBT AS TO THE MEANING OR INTENT OF ANY PART THEREOF THE DESIGNER SHALL BE NOTIFIED AT ONCE. THE DESIGNER WILL SEND WRITTEN INSTRUCTIONS OR EXPLANATIONS. NEITHER THE OWNER NOR THE DESIGNER WILL BE RESPONSIBLE FOR ORAL INSTRUCTIONS.

EXAMINATION

MAKE A CAREFUL EXAMINATION OF THE SITE OF THE PROJECT, AND INVESTIGATE AND BE SATISFIED AS TO ALL MATTERS RELATING TO THE NATURE OF THE WORK TO BE UNDERTAKEN, AS TO THE MEANS OF ACCESS AND EGRESS THERETO AND THERE FROM, AS TO THE OBSTACLES TO BE MET WITH, AS TO THE RIGHTS AND INTERESTS WHICH MAY BE INTERFERED WITH DURING THE CONSTRUCTION OF THE WORK, AS TO THE EXTENT OF THE WORK TO BE PERFORMED AND ANY AND ALL MATTERS WHICH ARE REFERRED TO IN THE CONSTRUCTION DOCUMENTS, OR WHICH ARE NECESSARY FOR THE FULL AND PROPER UNDERSTANDING OF THE WORK AND THE CONDITIONS UNDER WHICH IT WILL BE PERFORMED. NO ALLOWANCE SHALL BE MADE SUBSEQUENTLY IN THIS CONNECTION ON BEHALF OF THE BIDDER FOR ANY ERROR OR NEGLIGENCE ON ITS PART. BEFORE COMMENCING THE WORK, REPORT ANY DEFECTS WHICH MIGHT AFFECT THE NEW WORK IN WRITING TO THE DESIGNER. COMMENCEMENT OF NEW WORK SHALL IMPLY ACCEPTANCE OF ALL WORK UPON WHICH THE NEW WORK DEPENDS. VERIFY DIMENSIONS OF PREPARED WORK BEFORE FABRICATION OF THAT WORK WHICH IS DEPENDENT ON THE PREPARED WORK.

EXISTING CONDITIONS

MAKE GOOD SURFACES AND FINISHES DAMAGED OR DISTURBED DUE TO WORK TO MATCH EXISTING. ENSURE THAT MATERIAL USED TO REPAIR DAMAGE IS COMPATIBLE WITH EXISTING WORK. TERM "MAKE GOOD" SHALL MEAN REPAIRING OR FILLING OPERATIONS PERFORMED ON EXISTING FLOORS, WALLS, CEILING OR ANY OTHER EXPOSED SURFACES. PERFORM CUTTING AND PATCHING WHERE APPLICABLE AS SPECIFIED HEREIN. IT IS INTENDED THAT FINISHED SURFACES MATCH AND LINE WITH EXISTING ADJOINING SURFACES. RESTORE SITE TO CONDITION EQUAL TO OR BETTER THAN.

PUBLIC UTILITIES AND SERVICES

AT ALL PUBLIC UTILITIES AND SERVICES COMPLETE THE FOLLOWING:

- VERIFY LIMITATIONS IMPOSED ON PROJECT WORK BY PRESENCE OF UTILITIES AND SERVICES, AND ENSURE NO DAMAGE OCCURS TO THEM.
- NOTIFY SERVICE AUTHORITIES CONCERNED SO THAT THEY PROTECT, REMOVE, RELOCATE OR DISCONTINUE THEM, AS THEY MAY REQUIRE.
- MAKE ARRANGEMENTS FOR SERVICES REQUIRED FOR PROJECT WORK.
- LOCATE POLES, PIPES, CONDUIT, WIRES, FILL PIPES, VENTS, REGULATORS, METERS, AND SANITARY SERVICE WORK IN INCONSPICUOUS LOCATIONS. IF NOT SHOWN ON DRAWINGS, VERIFY LOCATION OF SERVICE WORK WITH DESIGNER BEFORE COMMENCING INSTALLATION.

VERTICAL OF INVERTS

IMMEDIATELY AFTER AWARD OF THE CONTRACT, VERIFY ALL FIELD SERVICE CONNECTIONS TO ENSURE THAT DRAINAGE RUNS CAN MEET THE INVERTS OF THE SITE SERVICES. GIVE NOTIFICATION IMMEDIATELY OF ANY APPARENT DIFFICULTIES OR DISCREPANCIES.

CLEAN UP

MAINTAIN THE WORK IN A TIDY CONDITION AND FREE FROM THE ACCUMULATION OF WASTE PRODUCTS AND DEBRIS. CONFORM TO ALL REQUIREMENTS ESTABLISHED BY JURISDICTIONAL AUTHORITIES FOR ENVIRONMENTAL AND POLLUTION CONTROL. PREVENT DUST FROM SPREADING TO ADJOINING PROPERTIES. KEEP ROADS AND SIDEWALKS FREE FROM EXCAVATED MATERIALS, DIRT AND DEBRIS, SNOW, AND ICE.

BUILDING DIMENSIONS AND COORDINATION

ENSURE THAT ALL NECESSARY JOB DIMENSIONS ARE TAKEN AND ALL TRADES ARE CO-ORDINATED FOR THE PROPER EXECUTION OF THE WORK. ASSUME COMPLETE RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS OF SUCH DIMENSIONS, AND FOR CO-ORDINATION.

VERIFY THAT ALL WORK, AS IT PROCEEDS, IS EXECUTED IN ACCORDANCE WITH DIMENSIONS AND POSITIONS INDICATED WHICH MAINTAIN LEVELS AND CLEARANCES TO ADJACENT WORK, AS SET OUT BY REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS, AND ENSURE THAT WORK INSTALLED IN ERROR IS RECTIFIED BEFORE CONSTRUCTION RESUMES.

CHECK AND VERIFY ALL DIMENSIONS REFERRING TO THE WORK AND THE INTERFACING OF ALL SERVICES. VERIFY ALL DIMENSIONS, WITH THE TRADE CONCERNED WHEN PERTAINING TO THE WORK OF OTHER TRADES. BE RESPONSIBLE TO SEE THAT SUBCONTRACTORS FOR VARIOUS TRADES COOPERATE FOR THE PROPER PERFORMANCE OF THE WORK.

AVOID SCALING DIRECTLY FROM THE DRAWINGS. IF THERE IS AMBIGUITY OR LACK OF INFORMATION, IMMEDIATELY INFORM THE DESIGNER. BE RESPONSIBLE FOR ANY CHANGE THROUGH THE DISREGARDING OF THIS CLAUSE.

ALL DETAILS AND MEASUREMENTS OF ANY WORK WHICH IS TO FIT OR TO CONFORM WITH WORK INSTALLED SHALL BE TAKEN AT THE BUILDING.

ADVISE DESIGNER OF DISCREPANCIES AND IF THERE ARE OMISSIONS ON DRAWINGS, PARTICULARLY REFLECTED CEILING PLANS AND JOINTING PATTERNS FOR PAVING, CERAMIC TILE, OR CARPET TILE LAYOUTS, WHICH AFFECT AESTHETICS, OR WHICH INTERFERE WITH SERVICES, EQUIPMENT OR SURFACES. DO NOT PROCEED WITHOUT DIRECTION FROM THE DESIGNER.

ENSURE THAT EACH SUBCONTRACTOR COMMUNICATES REQUIREMENTS FOR SITE CONDITIONS AND SURFACES NECESSARY FOR THE EXECUTION OF THE SUBCONTRACTOR'S WORK, AND THAT HE PROVIDES SETTING DRAWINGS, TEMPLATES AND ALL OTHER INFORMATION NECESSARY FOR THE LOCATION AND INSTALLATION OF

MATERIAL, HOLES, SLEEVES, INSETS, ANCHORS, ACCESSORIES, FASTENINGS, CONNECTIONS AND ACCESS PANELS. INFORM OTHER SUBCONTRACTORS WHOSE WORK IS AFFECTED BY THESE REQUIREMENTS AND PREPARATORY WORK.

PREPARE INTERFERENCE DRAWINGS TO PROPERLY COORDINATE THE WORK WHERE NECESSITATED.

CONSTRUCTION TOLERANCES

UNLESS MORE RESTRICTIVE/DEMANDING REQUIREMENTS ARE SPECIFIED, THE FOLLOWING CONSTRUCTION TOLERANCES COULD BE ACCEPTED:

- "PLUMB AND LEVEL" – 3 MM IN 3 M (1/8" IN 10'-0").
- "SQUARE" – 10 SECONDS MORE OR LESS THAN 90 DEGREES.
- "STRAIGHT" – 3 MM (1/8") UNDER A 3 M (10'-0") LONG STRAIGHT EDGE.

MANUFACTURER'S INSTRUCTIONS

INSTALL ALL MATERIALS IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTION. WHERE INSTRUCTIONS IN THIS PACKAGE CONFLICT WITH THE MANUFACTURER'S RECOMMENDATIONS IDENTIFY THE CONFLICT TO THE DESIGNER IMMEDIATELY.

LABELS AND NAMEPLATES

DO NOT INSTALL PERMANENT OR PERMANENTLY ATTACHED LABELS, TRADEMARKS, AND NAMEPLATES IN VISIBLE LOCATIONS ON MATERIALS AND COMPONENTS, UNLESS REQUIRED FOR OPERATING INSTRUCTIONS OR BY JURISDICTIONAL AUTHORITIES.

EXISTING CONDITIONS

MAKE GOOD SURFACES AND FINISHES DAMAGED OR DISTURBED DUE TO WORK OF THIS CONTRACT TO MATCH EXISTING. ENSURE THAT MATERIAL USED TO REPAIR DAMAGE IS COMPATIBLE WITH EXISTING WORK.

TERM "MAKE GOOD" SHALL MEAN REPAIRING OR FILLING OPERATIONS PERFORMED ON EXISTING FLOORS, WALLS, CEILING OR ANY OTHER EXPOSED SURFACES. PERFORM CUTTING AND PATCHING WHERE APPLICABLE AS SPECIFIED HEREIN. IT IS INTENDED THAT FINISHED SURFACES MATCH AND LINE WITH EXISTING ADJOINING SURFACES.

RESTORE SITE TO CONDITION EQUAL TO OR, IF SPECIFIED ELSEWHERE, TO CONDITION BETTER THAN EXISTING CONDITIONS.

RESTORE LANDS OUTSIDE OF LIMITS OF WORK WHICH ARE DISTURBED DUE TO WORK TO ORIGINAL CONDITION IN ADDITION TO COMPLYING WITH REQUIREMENTS OF GENERAL CONDITIONS OF THE CONTRACT.

CUTTING AND PATCHING

DO NOT CUT, DRILL OR SLEEVE LOAD-BEARING MEMBERS WITHOUT OBTAINING DESIGNER'S WRITTEN APPROVAL FOR EACH CONDITION.

SCHEDULE AND COORDINATE WORK TO MINIMIZE CUTTING AND PATCHING. CUT AND PATCH AS REQUIRED TO MAKE WORK FIT. USE WORKERS QUALIFIED IN WORK BEING CUT AND PATCHED TO ENSURE THAT IT IS CORRECTLY DONE.

CUT, PATCH AND MAKE GOOD TO ACCOMMODATE WORK AND TO LEAVE WORK IN FINISHED CONDITION. CUTTING IN THIS SENSE SHALL MEAN ACTUAL CUTTING OF COMPONENTS TO ALLOW NEW COMPONENTS TO PASS THROUGH OR TO PROVIDE NEW OPENINGS. CUTTING SHALL NOT MEAN MERE DRILLING OF HOLES TO ACCOMMODATE SCREWS, ANCHORS, BOLTS OR OTHER FASTENERS AS SUCH. SUCH DRILLING IS PART OF SECTION'S INSTALLATION FUNCTION.

USE WORKERS QUALIFIED IN WORK BEING CUT AND PATCHED TO ENSURE THAT IT IS CORRECTLY DONE.

MAKE CUTS WITH CLEAN, TRUE, SMOOTH EDGES TO TOLERANCES REQUIRED AND IN CONFORMANCE WITH INDUSTRY PRACTICE FOR APPLICABLE CLASS OF WORK. MAKE PATCHES UNDETECTABLE IN FINISHED WORK.

TEMPORARY FACILITIES AND CONTROLS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF AND REMOVAL OF ALL TEMPORARY PROVISIONS AND CONTROLS FOR THE PROJECT INCLUDING BUT LIMITED TO THE FOLLOWING. THE CONTRACTOR SHALL BE RESPONSIBLE THAT ALL ACTIVITIES ARE IN COMPLIANCE WITH APPLICABLE LEGISLATION.

COLD WEATHER CONSTRUCTION

WORK OF THIS CONTRACT SHALL BE CARRIED FORWARD TO COMPLETION WITH ALL POSSIBLE SPEED FOR THE FULL TWELVE (12) MONTHS OF EVERY YEAR AND SHALL COMMENCE WHEN THE CONTRACT IS AWARDED.

THE CONTRACTOR SHALL BE DEEMED TO HAVE INCLUDED IN HIS PRICING AMPLE FUNDS FOR THE PROVISION OF ALL NECESSARY TEMPORARY HEATING, TEMPORARY ENCLOSURES AND ALL OTHER COLD WEATHER MEASURES DURING COLD WEATHER CONSTRUCTION PERIOD.

PROVIDE ALL LABOUR, PLANT, EQUIPMENT AND SERVICES TO PROVIDE AND MAINTAIN ADEQUATE HEAT FOR WORK OF ALL TRADES WITHIN THE BUILDING. THE USE OF OPEN FIRES OR SALAMANDERS IS NOT PERMITTED. TEMPERATURES ATTAINED SHALL NOT BE INJURIOUS TO MATERIALS OR FINISHES OF ANY TRADE.

DURING ALL COLD WEATHER PERIODS, MAINTAIN THE AMBIENT AIR TEMPERATURE AT WORKING AREAS AT OR ABOVE 5° CELSIUS FOR ALL TRADES REQUIRING ABOVE FREEZING TEMPERATURES TO ENSURE SPECIFIED QUALITY OF WORK AND WORKMANSHIP. ERECT AND MAINTAIN TEMPORARY ENCLOSURES AS REQUIRED.

THE USE OF THE PERMANENT HEATING PLANT FOR TEMPORARY HEAT IN AREAS OF THE BUILDING NOT OCCUPIED BY THE PUBLIC WILL NOT BE PERMITTED UNLESS AUTHORIZED BY THE DESIGNER IN WRITING AND THEN ONLY UNDER CONDITIONS SET OUT IN THE MECHANICAL SECTIONS OF THESE SPECIFICATIONS AND IN A MANNER WHICH GUARANTEES AND WARRANTS ON EQUIPMENT WILL NOT BE AFFECTED.

MAINTAIN ADEQUATE VENTING, VENTILATION AND HUMIDITY TO ENSURE PROPER CURING OF MATERIALS, SAFEGUARD FINISHES AND TO PREVENT BUILD UP OF COMBUSTION GASES WITHIN ENCLOSURES.

REGULATORY REQUIREMENTS

MINIMUM STANDARD: UNLESS REFERENCE IS MADE IN THE CONTRACT DOCUMENTS TO OTHER STANDARDS, ALL WORK SHALL CONFORM TO OR EXCEED THE MINIMUM APPLICABLE STANDARDS OF THE ONTARIO BUILDING CODE, AND/OR THE GOVERNING JURISDICTIONAL AUTHORITIES.

CONSTRUCTION SAFETY: INCLUDE ALL PROVISIONS FOR CONSTRUCTION SAFETY, SUCH AS FENCES, BARRICADES, BRACING SUPPORTS, STORAGE FACILITIES, SANITATION FACILITIES, FIRE PROTECTION, STANDPIPES, ELECTRICAL SUPPLY, TEMPORARY HEAT, VENTILATION, CONSTRUCTION EQUIPMENT WITH ITS SUPPORTS AND GUARDS, STAIRS, RAMPS, PLATFORMS, RUNWAYS, LADDERS, SCAFFOLDS, GUARDRAILS, TEMPORARY FLOORING, RUBBISH CHUTES, WALKWAY LIGHTING AND ALL AS REQUIRED BY THE OCCUPATIONAL HEALTH AND SAFETY ACT, AND AMENDMENTS THERETO AND THE ONTARIO FIRE CODE REGULATION AS WELL AS ALL OTHER APPLICABLE REGULATIONS OF JURISDICTIONAL AUTHORITIES.

AIR LEAKAGE AND EXPANSION CONTROL

RECOGNIZING THAT WALL AND ROOF MATERIALS ARE NOT DIMENSIONALLY STABLE, AND THAT THEY MOVE DIFFERENTIALLY FROM THE STRUCTURAL FRAME, THE LOCATION OF CRACKS SHOULD BE ANTICIPATED AND AN AIRTIGHT DIAPHRAGM AND/OR FLEXIBLE SEALANTS INCORPORATED TO MAINTAIN AIR-TIGHTNESS, AND TO PREVENT PROBLEMS DUE TO VAPOUR CONDENSATION.

IN ADDITION, CONNECTIONS BETWEEN STRUCTURAL STEEL MEMBERS ARE NOT AIRTIGHT AND PERIMETER CONNECTIONS MUST BE MADE AIRTIGHT.

ALTHOUGH CONCEALED BEHIND CONVECTORS, PANELING, WALLBOARD OR SUSPENDED CEILINGS, THE INTERIOR SURFACES OF EXTERIOR WALLS AND ROOFS SHALL BE MADE AIRTIGHT. ENSURE THAT BACKUP MASONRY WALLS ARE WELL LAID WITH FULL MORTAR JOINTS, AND WALLBOARD JOINTS ARE SEALED.

THE MANNER OF INSTALLATION OF ALL PIPES, DUCTS, CONDUITS, AND ELECTRICAL OUTLETS SHALL BE THOROUGHLY CO-ORDINATED TO PREVENT THE OCCURRENCE OF AIR LEAKS: WHEN PIPES OR CONDUITS RUN ADJACENT TO EXTERIOR WALLS AND ARE TO BE FURRED IN, NOT ONLY SHALL THE EXTERIOR WALL BE AIRTIGHT, BUT IT SHALL BE ADEQUATELY INSULATED TO PREVENT COLD SPOTS ON WHICH CONDENSATION COULD OCCUR IN THE COLD SPACE. PROVIDE A CONTINUOUS AIR SEAL BETWEEN THE AIRTIGHT PART OF A WALL OR CEILING AND THE FRAMES OF ALL OPENINGS SUCH AS WINDOWS, DOORS, HATCHES, DUCTS, GRILLES, LOUVRES, STRUCTURAL STEEL MEMBERS AND THE LIKE.

IN ADDITION TO THE SPECIFIC REQUIREMENTS IN EACH TECHNICAL SECTION OF THE SPECIFICATION, MAKE ALLOWANCE FOR EXPANSION CONTROL THROUGHOUT THE CONSTRUCTION. ENSURE THAT POURED PAVING AND SLABS, EXTERIOR TO THE BUILDING STRUCTURE, TOGETHER WITH APPLIED MATERIALS ARE NOT TIGHT TO BUILDING FACE, AND THAT EXPANSION CONTROL JOINTS ARE LEFT TO ACCOMMODATE MOVEMENT.

TAKE PARTICULAR CARE IN CONSTRUCTING WALLS AROUND WET AREAS SUCH AS SHOWERS, TO AVOID MOISTURE TRANSFER TO ADJACENT BUILDING AREAS.

SLEEVING

ASSESS REQUIREMENTS FOR SLEEVING THE STRUCTURAL ELEMENTS FOR PASSING OF PIPES, CONDUITS AND OTHER MECHANICAL OR ELECTRICAL COMPONENTS, AND INCLUDE ALL WORK REQUIRED FOR APPROVED INTERFACING BETWEEN THE STRUCTURE, ALL MECHANICAL AND ELECTRICAL WORK, AND OTHER COMPONENTS OF THE WORK. CONFIRM AND COORDINATE SLEEVING LOCATIONS WITH MECHANICAL AND ELECTRICAL TRADES AS REQUIRED DURING THE CONSTRUCTION OF THE WORK.

CONCEALING OF MECHANICAL AND ELECTRICAL COMPONENTS

INCLUDE WORK REQUIRED TO MODIFY INDICATED LOCATION OF PIPES, DUCTS, CONDUITS, AND OTHER MECHANICAL OR ELECTRICAL COMPONENTS TO FULLY CONCEAL SUCH COMPONENTS FROM VIEW IN FINISHED SPACES, EXCEPT WHERE INDICATED OTHERWISE.

LIFE AND FIRE SAFETY

ENFORCE ALL REQUIREMENTS ESTABLISHED BY JURISDICTIONAL AUTHORITIES AND UNDERWRITERS FOR LIFE SAFETY, FIRE PREVENTION, AND FIRE PROTECTION.

DRAINAGE

ENSURE THAT POSITIVE DRAINAGE IS PROVIDED TO ROOF, FLOOR, SITE DRAINS AND CATCH BASINS, AS SET IN THEIR FINAL POSITIONS, AND AT ALL OTHER LOCATIONS TO PREVENT WATER INFILTRATION INTO THE BUILDING. PROVIDE CONSTANT SLOPES FOR DRAINED SURFACES TO DRAINS AND DRAINAGE COURSES.

VERIFY THE EXTENT OF EACH AREA SERVED BY A DRAIN, OR DRAINAGE COURSE, TO ELIMINATE POSSIBLE UNDRAINED SURFACES. CO-ORDINATE THE WORK OF INVOLVED SUBCONTRACTORS BEFORE EACH OF THEIR WORK PROCEEDS.

IF WATER IS FOUND TO BE PONDING ON ROOF AREAS DUE TO IMPROPERLY PLACED DRAINS, INSTALL ADDITIONAL DRAINS TO ALLEVIATE WATER PONDING AT NO COST TO THE OWNER. IF EXTRA DRAINS ARE REQUIRED CO-ORDINATE THE LOCATION OF RAINWATER LEADERS WITH THE DESIGNER.

SAFETY

THE CONTRACTOR SHALL PERFORM THE WORK IN A SAFE MANNER AND SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL, PROVINCIAL, AND FEDERAL LEGISLATION AND ANY OTHER REGULATION BY AUTHORITIES HAVING JURISDICTION OF CONSTRUCTION PROJECTS. IN THE EVENT OF CONFLICT BETWEEN ANY PROVISIONS ON THE ABOVE AUTHORITIES, THE MOST STRINGENT PROVISION SHALL APPLY.

MAINTAIN ALL EXISTING EXITS AND ACCESSSES TO EXITS AND VEHICLE ACCESS POINTS SERVING PORTIONS OF THE BUILDING SCHEDULED TO REMAIN IN USE BY THE OWNER, INCLUDING CORRIDORS AND DOORWAYS (MANDOORS AND OVERHEAD DOORS), FREE OF IMPEDIMENTS AND OBSTRUCTIONS.

WHERE AN EXIT OR ACCESS TO EXIT IS UNAVOIDABLY BLOCKED PROVIDE AN ACCEPTABLE ALTERNATE EXIT AND/OR ACCESS ROUTE, CLEARLY DEFINED AND PROTECTED SO THAT IT IS SEPARATED FROM THE CONSTRUCTION AREA BY A SMOKE AND DUST TIGHT PARTITION EQUIVALENT TO A 45 MINUTE FIRE SEPARATION. PROPOSED ALTERNATE EXITS SHALL BE TO THE SATISFACTION OF AUTHORITIES HAVING JURISDICTION.

AT EXISTING OCCUPIED FLOOR AREAS EXPOSED TO NEW CONSTRUCTION, PROVIDE A

TEMPORARY DUST TIGHT PARTITION EQUIVALENT TO A 45 MINUTE FIRE SEPARATION. PROPOSED PARTITION SHALL BE TO THE SATISFACTION OF AUTHORITIES HAVING JURISDICTION.

CLEAN-UP

CONTRACTOR WILL BE RESPONSIBLE FOR CLEAN UP ON A DAILY BASIS. IF THE SITE IS NOT CLEANED EACH DAY OWNER WILL ARRANGE FOR SITE CLEAN UP AND THE CONTRACTOR WILL BE CHARGED THE COST AS DETERMINED BY OWNER.

CONTRACTOR WILL BE RESPONSIBLE FOR THE CLEAN UP AND REMOVAL OF ALL RUBBISH AND SURPLUS MATERIAL ASSOCIATED WITH HIS WORK. CLEAN UP IS TO BE SCHEDULED AND CARRIED OUT TO THE SATISFACTION OF OWNER.

CONTRACTOR WILL BE RESPONSIBLE FOR DAILY GENERAL HOUSEKEEPING.

AT COMPLETION OF THE WORK, EACH CONTRACTOR SHALL REMOVE ALL TOOLS, EQUIPMENT, MACHINERY, STORAGE SHEDS, TEMPORARY PROTECTION AND SURPLUS MATERIAL LEAVING THE PROJECT CLEAN AND READY FOR OCCUPANCY.

FINAL CLEAN-UP

CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL CLEAN UP OF THE PROJECT PRIOR TO ACHIEVING SUBSTANTIAL COMPLETION. THIS SHALL BE COMPLETED BY EXPERIENCED PERSONNEL OR PROFESSIONAL CLEANERS TO THE SATISFACTION OF OWNER / DESIGNER AND SHALL ENERALLY INCLUDE THE FOLLOWING:

- ALL EXCESS CONSTRUCTION MATERIALS AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE.
- ALL INTERIOR SURFACES AND FIXTURES SHALL BE VACUUM CLEAN, MOPPED AND WIPED. CLEAN AND POLISH ALL GLASS AND MIRRORS.
- ALL MANUFACTURER'S LABELS, STICKERS, MARKINGS SHALL BE REMOVED.
- EXTERIOR BUILDING SURFACES SHALL BE CLEANED, WASHED AND WIPED. ALL DUST, EFFLORESCENCE OR OTHER MARKINGS, DEBRIS SHALL BE REMOVED. CLEAN AND POLISH ALL GLASS.
- EXTERIOR HARD SURFACES SHALL BE BROOM CLEAN, SOFT LANDSCAPING SHALL BE RAKE CLEAN.

ABBREVIATIONS

WORDS AND ABBREVIATIONS WHICH HAVE WELL KNOWN TECHINCAL OR TRADE MEANINGS ARE USED IN THE CONTRACT DOCUMENTS IN ACCORDANCE WITH SUCH RECOGNIZED MEANINGS. MANY WORDS OR EXPRESSIONS THAT ARE REPEATED FREQUENTLY ON THE DRAWINGS ARE ABBREVIATED TO REDUCE THE AMOUNT OF WORDING THAT MIGHT OBTUSE THE DETAILING. IN SOME INSTANCE AND TO AVOID MISINTERPRETATION, THESE ABBREVIATIONS ARE LISTED, WITH THEIR FULL MEANING, ON A TABLES / LEGENDS LOCATED ON THE DRAWINGS OR NEAR SCHEDULES WHERE THE ABBREVIATIONS ARE USED.

DEMOLITION

REFER TO DRAWINGS FOR EXTENT OF DEMOLITION ACTIVITIES. DEMOLISH PORTIONS OF THE EXISTING BUILDING AND RELATED SERVICES AS REQUIRED TO PERMIT CONSTRUCTION OF NEW WORK. DEMOLISH AND DISPOSE OF ALL COMPONENTS OF EXISTING BUILDING AS DESCRIBED ON DEMOLITION DRAWINGS.

SEPARATE WASTE MATERIALS FOR REUSE AND RECYCLING WHERE POSSIBLE AND DELIVER TO RECYCLING DEPOTS.

FIRES AND BURNING OF WASTE OR MATERIALS IS NOT PERMITTED ON SITE. DO NOT BURY RUBBISH WASTE MATERIALS. DO NOT DISPOSE OF WASTE OR VOLATILE MATERIALS INCLUDING BUT NOT LIMITED TO: MINERAL SPIRITS, OIL, PETROLEUM BASED LUBRICANTS, OR TOXIC CLEANING SOLUTIONS INTO WATERCOURSES, STORM OR SANITARY SEWERS.

COVER OR WET DOWN DRY MATERIALS AND WASTE TO PREVENT BLOWING DUST AND DEBRIS.

PREVENT MOVEMENT, SETTLEMENT OR DAMAGE OF ADJACENT STRUCTURES, SERVICES, WALKS, PAVING, TREES, LANDSCAPING, ADJACENT GRADES TO REMAIN. REPAIR DAMAGE CAUSED BY DEMOLITION AS DIRECTED BY DESIGNER.

SUPPORT AFFECTED STRUCTURES AND, IF SAFETY OF STRUCTURE BEING DEMOLISHED OR ADJACENT STRUCTURES, SERVICES OR VEHICLES APPEARS TO BE ENDANGERED, TAKE PREVENTATIVE MEASURES, STOP WORK. NOTIFY DESIGNER IMMEDIATELY IF EXISTING BUILDING, SERVICES OR VEHICLES ON THE SITE ARE AFFECTED.

DISCONNECT GAS, WATER, SANITARY, ELECTRICAL AND TELEPHONE SERVICE LINES ENTERING AREA OF BUILDINGS TO BE DEMOLISHED.

DO NOT DISRUPT ACTIVE OR ENERGIZED UTILITIES DESIGNATED TO REMAIN UNDISTURBED.

WHERE APPLICABLE, SUPPLY SEPARATE, CLEARLY MARKED DISPOSAL BINS FOR CATEGORIES OF WASTE MATERIAL. DISPOSE OF ALL DEMOLISHED MATERIALS NOT DESIGNATED FOR ALTERNATE DISPOSAL, IN ACCORDANCE WITH APPLICABLE REGULATIONS. TRANSPORT MATERIAL DESIGNATED FOR ALTERNATE DISPOSAL USING APPROVED HAULERS/ FACILITIES/RECEIVING ORGANIZATIONS IN ACCORDANCE WITH APPLICABLE REGULATION.

REVISIONS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.	
QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE	
RYAN VIS M.A.A.T.O.	26412
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE	
VISION DESIGN & DEVELOPMENT	100640
FIRM	BCIN
REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE	

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RYAN VIS M.A.A.T.O.	26412
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SINGLE FAMILY RESIDENCE (REVISED)

WAHNAPITAE FIRST NATION, ONTARIO

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DO NOT SCALE DRAWINGS.

PROJECT	2603	DRAWN BY	R. VIS	BCIN	26412/100640
DATE	MAR. 5, 2026		SCALE		
			NOT TO SCALE		
DESCRIPTION					
GENERAL REQUIREMENTS					

DRAWING

DO01

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information			
Building number, street name WAHNAPITAE FIRST NATION		Unit no.	Lot/con.
Municipality	Postal code	Plan number/ other description	
B. Individual who reviews and takes responsibility for design activities			
Name RYAN VIS		Firm VISION DESIGN AND DEVELOPMENT	
Street address 770 DOMINION DRIVE		Unit no.	Lot/con.
Municipality HANMER	Postal code P3P 0A7	Province ONTARIO	E-mail VISION_DESIGN@LIVE.COM
Telephone number (705) 588-2565	Fax number (N/A)	Cell number (705) 690-8706	
C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]			
<input checked="" type="checkbox"/> House	<input type="checkbox"/> HVAC – House	<input type="checkbox"/> Building Structural	
<input checked="" type="checkbox"/> Small Buildings	<input type="checkbox"/> Building Services	<input type="checkbox"/> Plumbing – House	
<input type="checkbox"/> Large Buildings	<input type="checkbox"/> Detection, Lighting and Power	<input type="checkbox"/> Plumbing – All Buildings	
<input type="checkbox"/> Complex Buildings	<input type="checkbox"/> Fire Protection	<input type="checkbox"/> On-site Sewage Systems	
Description of designer's work ARCHITECTURAL DESIGN OF SINGLE FAMILY RESIDENCE			
D. Declaration of Designer			
I <u>RYAN VIS</u> declare that (choose one as appropriate): (print name)			
<input checked="" type="checkbox"/> I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Individual BCIN: <u>26412</u> Firm BCIN: <u>100640</u>			
<input type="checkbox"/> I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code. Individual BCIN: _____ Basis for exemption from registration: _____			
<input type="checkbox"/> The design work is exempt from the registration and qualification requirements of the Building Code. Basis for exemption from registration and qualification: _____			
I certify that:			
1. The information contained in this schedule is true to the best of my knowledge. 2. I have submitted this application with the knowledge and consent of the firm.			
JAN. 9, 2024 Date		<u>Ryan Vis</u> Signature of Designer	

NOTE:

- For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
- Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE

RYAN VIS M.A.A.T.O. Ryan Vis 26412
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE

VISION DESIGN & DEVELOPMENT 100640
FIRM BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE



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**SINGLE FAMILY
RESIDENCE
(REVISED)**

WAHNAPITAE FIRST NATION, ONTARIO

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PROJECT	2603	DRAWN BY	R. VIS	BCIN	26412/100640
DATE	MAR. 5, 2026	SCALE	NOT TO SCALE		

DESCRIPTION
DESIGNER INFORMATION

DRAWING
D002

Energy Efficiency Design Summary: Prescriptive Method

(Building Code Part 9, Residential)

This form is used by a designer to demonstrate that the energy efficiency design of a house complies with the building code using the prescriptive method described in Subsection 3.1.1. of SB-12. This form is applicable where the ratio of gross area of windows/sidelights/skylights/glazing in doors and sliding glass doors to the gross area of peripheral walls is not more than 22%.

For use by Principal Authority	
Application No:	Model/Certification Number

A. Project Information

Building number, street name WAHNAPITAE FIRST NATION		Unit number	Lot/Con
Municipality	Postal code	Reg. Plan number / other description	

B. Prescriptive Compliance [indicate the building code compliance package being employed in this house design]

SB-12 Prescriptive (input design package): Package: A4 Table: 3.1.1.3A

C. Project Design Conditions

Climatic Zone (SB-1):	Heating Equipment Efficiency	Space Heating Fuel Source
<input type="checkbox"/> Zone 1 (< 5000 degree days)	<input checked="" type="checkbox"/> ≥ 92% AFUE	<input type="checkbox"/> Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Solid Fuel
<input checked="" type="checkbox"/> Zone 2 (≥ 5000 degree days)	<input type="checkbox"/> ≥ 84% < 92% AFUE	<input type="checkbox"/> Oil <input type="checkbox"/> Electric <input type="checkbox"/> Earth Energy
Ratio of Windows, Skylights & Glass (W, S & G) to Wall Area		Other Building Characteristics
Area of walls = _____m ² or <u>1,450</u> ft ²	W, S & G % = <u>13%</u>	<input type="checkbox"/> Log/Post&Beam <input type="checkbox"/> ICF Above Grade <input type="checkbox"/> ICF Basement
Area of W, S & G = _____m ² or <u>192</u> ft ²	Utilize window averaging: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Slab-on-ground <input type="checkbox"/> Walkout Basement
		<input type="checkbox"/> Air Conditioning <input type="checkbox"/> Combo Unit
		<input type="checkbox"/> Air Sourced Heat Pump (ASHP)
		<input type="checkbox"/> Ground Sourced Heat Pump (GSHP)

D. Building Specifications [provide values and ratings of the energy efficiency components proposed]

Energy Efficiency Substitutions				
<input type="checkbox"/> ICF (3.1.1.2.(5) & (6) / 3.1.1.3.(5) & (6))				
<input checked="" type="checkbox"/> Combined space heating and domestic water heating systems (3.1.1.2.(7) / 3.1.1.3.(7))				
<input type="checkbox"/> Airtightness substitution(s)				
Airtightness test required (Refer to Design Guide Attached)		<input type="checkbox"/> Table 3.1.1.4.B Required: _____ Permitted Substitution: _____ <input type="checkbox"/> Table 3.1.1.4.C Required: _____ Permitted Substitution: _____		
Building Component	Minimum RSI / R values or Maximum U-Value ⁽¹⁾		Building Component	Efficiency Ratings
Thermal Insulation	Nominal	Effective	Windows & Doors Provide U-Value ⁽¹⁾ or ER rating	
Ceiling with Attic Space	60	59.22	Windows/Sliding Glass Doors	34
Ceiling without Attic Space	31	27.65	Skylights/Glazed Roofs	0.49
Exposed Floor	31	29.80	Mechanicals	
Walls Above Grade	22+1.5ci	23.90	Heating Equip.(AFUE)	96%
Basement Walls	20ci	21.12	HRV Efficiency (SRE% at 0° C)	65%
Slab (all >600mm below grade)	N/A	N/A	DHW Heater (EF)	0.61
Slab (edge only ≤600mm below grade)	10	11.13	DWHR (CSA B55.1 (min. 42% efficiency))	# Showers _____
Slab (all ≤600mm below grade, or heated)	10	N/A	Combined Heating System	

(1) U value to be provided in either W/(m²•K) or Btu/(h•ft²•F) but not both.

E. Designer(s) [name(s) & BCIN(s), if applicable, of person(s) providing information herein to substantiate that design meets the building code]

Qualified Designer Declaration of designer to have reviewed and take responsibility for the design work.		
Name VISION DESIGN AND DEVELOPMENT (RYAN VIS)	BCIN 100640 (26412)	Signature <i>Ryan Vis</i>

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE

RYAN VIS M.A.A.T.O. *Ryan Vis* 26412
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE

VISION DESIGN & DEVELOPMENT 100640
FIRM BCIN

REGISTRATION INFORMATION
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SINGLE FAMILY RESIDENCE (REVISED)

WAHNAPITAE FIRST NATION, ONTARIO

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PROJECT 2603	DRAWN BY R. VIS	BCIN 26412/100640
DATE MAR. 5, 2026	SCALE NOT TO SCALE	

DESCRIPTION
ENERGY EFFICIENCY DESIGN SUMMARY

DRAWING
D003

ASSEMBLY SCHEDULE

WF1 - TYPICAL FOUNDATION WALL (EXTERIOR)

PARGING (ABOVE GRADE)/ DIMPLEBOARD, WATERPROOFING MEMBRANE (BELOW GRADE), CONCRETE BLOCK FOUNDATION WALL (AS NOTED) C/M 1 VERTICAL 20m REBAR @ 32" O/C (FILL CORES WITH NON-SHRINK GROUT)

WM1 - TYPICAL EXTERIOR WALL

VINYL SIDING, AIR BARRIER, 1 1/2" RIGID INSULATION, 1/2" ASPENITE SHEATHING (SHEAR WALL NAILED), 2"x6" WOOD FRAMING @ 16" O/C C/M R24 BATT INSULATION, VAPOUR BARRIER, 1/2" GYPSUM BOARD

FC1 - CONCRETE SLAB ON GROUND

5" CONCRETE SLAB ON GROUND, VAPOUR BARRIER (10mil), 2" RIGID INSULATION (R10), 6" GRANULAR 'A' COMPACTED TO 100% SPD, 18" GRANULAR 'B' COMPACTED TO 100% SPD, UNDISTURBED SOIL

FM2 - TYPICAL FLOOR

3/4" T&G PLYWOOD SHEATHING (GLUED AND SCREWED), WOOD FRAMING AS NOTED, METAL RESILIENT CHANNEL, 1/2" GYPSUM BOARD

RM1 - TYPICAL ROOF

ASPHALT SHINGLES, ICE AND WATER SHIELD, 1/2" PLYWOOD SHEATHING, PRE-ENGINEERED ROOF TRUSSES @ 24" O/C C/M (R60) BATT INSULATION IN 2 LAYERS, VAPOUR BARRIER, METAL RESILIENT CHANNEL, 1/2" GYPSUM BOARD

RM2 - TYPICAL ROOF C/M DROP CEILING

ASPHALT SHINGLES, ICE AND WATER SHIELD, 1/2" PLYWOOD SHEATHING, PRE-ENGINEERED ROOF TRUSSES @ 24" O/C C/M (R60) BATT INSULATION IN 2 LAYERS, VAPOUR BARRIER, SUSPENDED METAL FRAMING, METAL RESILIENT CHANNEL, 1/2" GYPSUM BOARD

RM3 - TYPICAL VENTED SOFFIT

ASPHALT SHINGLES, ICE AND WATER SHIELD, 1/2" PLYWOOD SHEATHING, PRE-ENGINEERED ROOF TRUSSES @ 24", VENTED ALUMINUM SOFFIT

P1 - TYPICAL PARTITION WALL

1/2" GYPSUM BOARD, WOOD FRAMING AS NOTED, 1/2" GYPSUM BOARD

COLUMN SCHEDULE

COL1 2"x6" KING STUD C/M JACK STUD
COL2 2-2"x6" BUILT-UP WOOD COLUMN
COL3 3-2"x6" BUILT-UP WOOD COLUMN
COL4 4-2"x6" BUILT-UP WOOD COLUMN
COL5 5-2"x6" BUILT-UP WOOD COLUMN
COL6 6"x6" WOOD COLUMN

NOTES

- COLUMNS SHALL BE SECURELY FASTENED TO THE SUPPORTED MEMBER TO REDUCE THE LATERAL DIFFERENTIAL MOVEMENT BETWEEN THE COLUMN AND THE SUPPORTED MEMBER
- STEEL PIPE COLUMNS SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAN 2 7/8" AND A WALL THICKNESS OF NOT LESS THAN 3/16". STEEL PIPE COLUMNS SHALL BE FITTED WITH NOT LESS THAN A 4"x4"x1/4" STEEL BASE AND TOP PLATE. WHERE THE TOP PLATE SUPPORTS A WOOD BEAM, THE TOP PLATE SHALL MATCH THE WIDTH OF THE SUPPORTED BEAM. STEEL COLUMNS SHALL CONFORM TO CAN/C69B-7.2 "ADJUSTABLE STEEL COLUMNS"
- BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" NAILS SPACED NOT MORE THAN 10" O/C. WOOD COLUMNS SHALL BE SEPARATED FROM CONCRETE IN CONTACT WITH THE GROUND BY TYPE 5 ROLL ROOFING

STRUCTURAL BEAM NOTES

- INDIVIDUAL BUILT-UP WOOD BEAMS SHALL BE NAILED TOGETHER WITH A DOUBLE ROW OF NAILS NOT LESS THAN 3 1/2" IN LENGTH, SPACED NOT MORE THAN 16" APART IN EACH ROW WITH THE END NAILS LOCATED 4" TO 5 1/2" FROM THE END OF EACH PIECE
- STEEL BEAMS SUSCEPTIBLE TO CORROSION SHALL BE SHOP PRIMED WITH RUST-INHIBITIVE PAINT

LINTEL SCHEDULE

L1 2-2"x4" BUILT-UP WOOD LINTEL
L2 2-2"x6" BUILT-UP WOOD LINTEL
L3 2-2"x8" BUILT-UP WOOD LINTEL
L4 2-2"x10" BUILT-UP WOOD LINTEL
L5 2-2"x12" BUILT-UP WOOD LINTEL
L6 3-2"x8" BUILT-UP WOOD LINTEL
L7 3-2"x10" BUILT-UP WOOD LINTEL
L8 3-2"x12" BUILT-UP WOOD LINTEL
L9 PRE-ENGINEERED WOOD LINTEL

NOTES

- BUILT-UP WOOD LINTELS SHALL BE FASTENED TOGETHER WITH NOT LESS THAN 3 1/4" NAILS IN A DOUBLE ROW, WITH NOT MORE THAN 16" O/C PER ROW
- LINTEL MEMBERS MAY BE SEPARATED BY FILLER PIECES
- LOOSE LINTELS SHALL HAVE A MINIMUM BEARING OF 6" AT END SUPPORTS AND SHALL BE PRIMED/PAINTED OR OTHERWISE PROTECTED FROM CORROSION

SHEAR WALL NAILING

WHERE SHEAR WALL NAILING IS NOTED, PROVIDE 2 ROWS OF STAGGERED NAILS AT SHEATHING SIDE EDGES SPACED @ 6" O/C AND PER OBC FOR CENTRE ROWS OF SHEATHING

PAD FOOTINGS

P.FTG1 ON PLAN DENOTES 3'-6"x3'-6"x1'-6" CONCRETE FOOTING C/M 2 LAYERS OF 10M REBAR @ 8" O/C EACH WAY (2" FROM TOP AND BOTTOM OF FOOTING)

ADJUSTABLE JACK POST

J.POST ON PLAN DENOTES ADJUSTABLE JACK POST C/M BEARING PLATES AND INSTALLED TO MANUFACTURERS WRITTEN SPECIFICATIONS

REVISIONS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE

RYAN VIS M.A.A.T.O. *Ryan Vis* 26412
NAME SIGNATURE BCN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE

VISION DESIGN & DEVELOPMENT 100640
FIRM BCN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE



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SINGLE FAMILY RESIDENCE (REVISED)

WAHNAPIAE FIRST NATION, ONTARIO

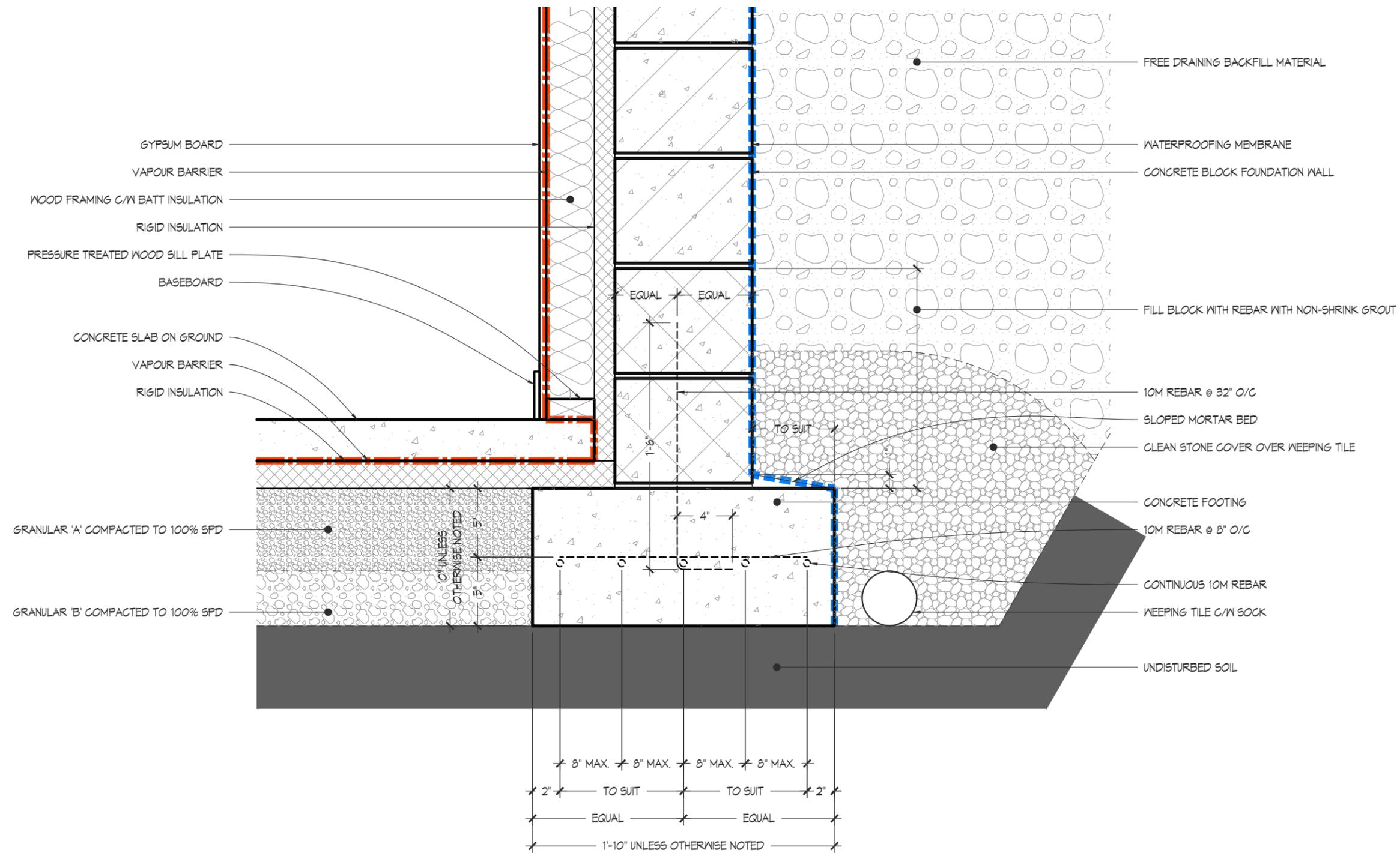
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PROJECT	2603	DRAWN BY	R. VIS	BCN	26412/100640
DATE	MAR. 5, 2026	SCALE	NOT TO SCALE		

DESCRIPTION
ASSEMBLIES AND GENERAL NOTES

DRAWING

D004



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QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE

RYAN VIS M.A.A.T.O. *Ryan Vis* 26412
 NAME SIGNATURE BCG

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE

VISION DESIGN & DEVELOPMENT 100640
 FIRM BCG

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE



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**SINGLE FAMILY
 RESIDENCE
 (REVISED)**

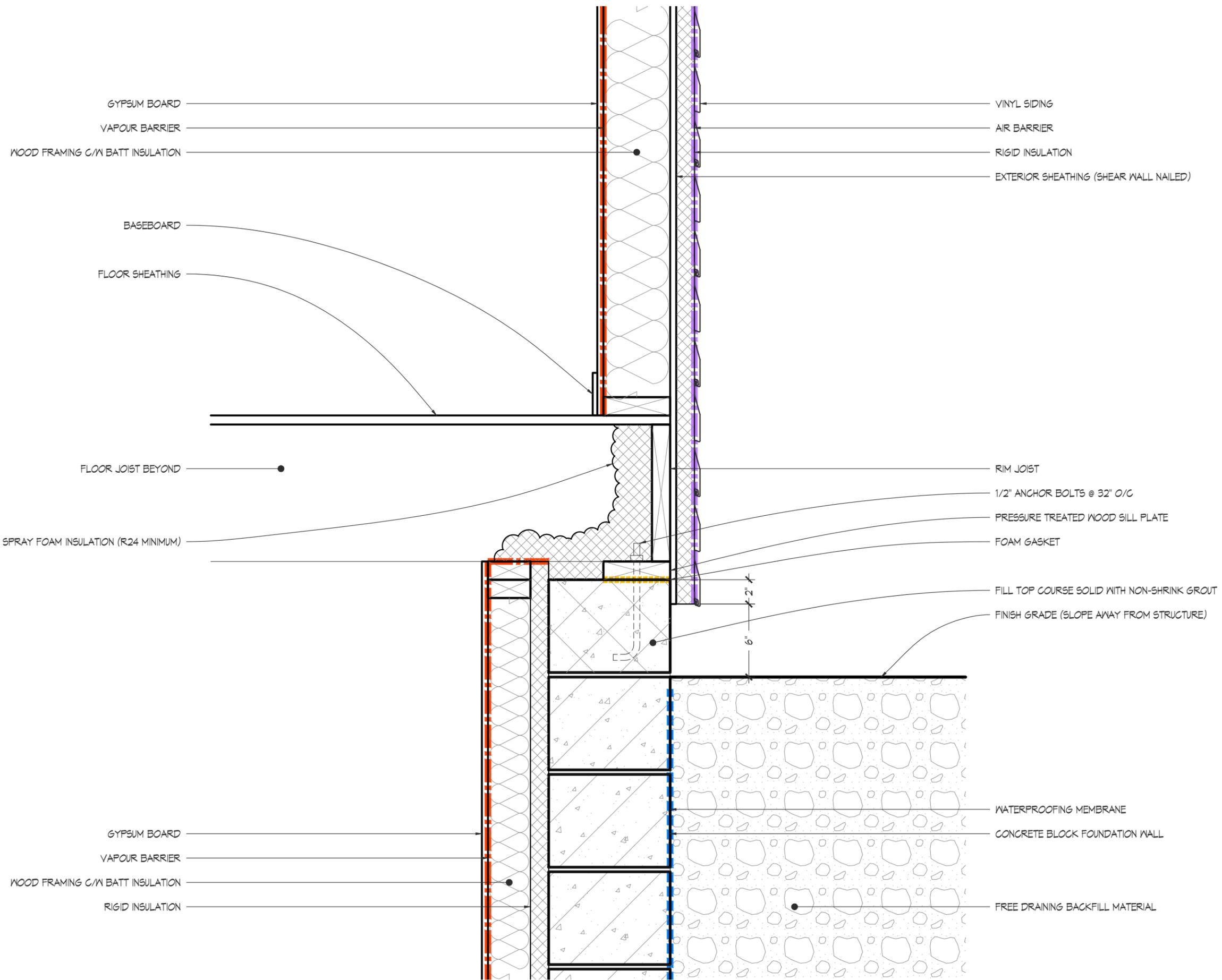
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PROJECT	2603	DRAWN BY	R. VIS	BCG	26412/100640
DATE	MAR. 5, 2026	SCALE	1 1/2" = 1'-0"		

DESCRIPTION
 TYPICAL FOOTING DETAIL

DRAWING
D100



GYPSUM BOARD
 VAPOUR BARRIER
 WOOD FRAMING C/W BATT INSULATION

VINYL SIDING
 AIR BARRIER
 RIGID INSULATION
 EXTERIOR SHEATHING (SHEAR WALL NAILED)

BASEBOARD
 FLOOR SHEATHING

FLOOR JOIST BEYOND

SPRAY FOAM INSULATION (R24 MINIMUM)

RIM JOIST
 1/2" ANCHOR BOLTS @ 32" O/C
 PRESSURE TREATED WOOD SILL PLATE
 FOAM GASKET
 FILL TOP COURSE SOLID WITH NON-SHRINK GROUT
 FINISH GRADE (SLOPE AWAY FROM STRUCTURE)

GYPSUM BOARD
 VAPOUR BARRIER
 WOOD FRAMING C/W BATT INSULATION
 RIGID INSULATION

WATERPROOFING MEMBRANE
 CONCRETE BLOCK FOUNDATION WALL
 FREE DRAINING BACKFILL MATERIAL

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QUALIFICATION INFORMATION
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RYAN VIS M.A.A.T.O. *Ryan Vis* 26412
 NAME SIGNATURE BCN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE

VISION DESIGN & DEVELOPMENT 100640
 FIRM BCN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE



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 RESIDENCE
 (REVISED)**

WAHNAPIITAE FIRST NATION, ONTARIO

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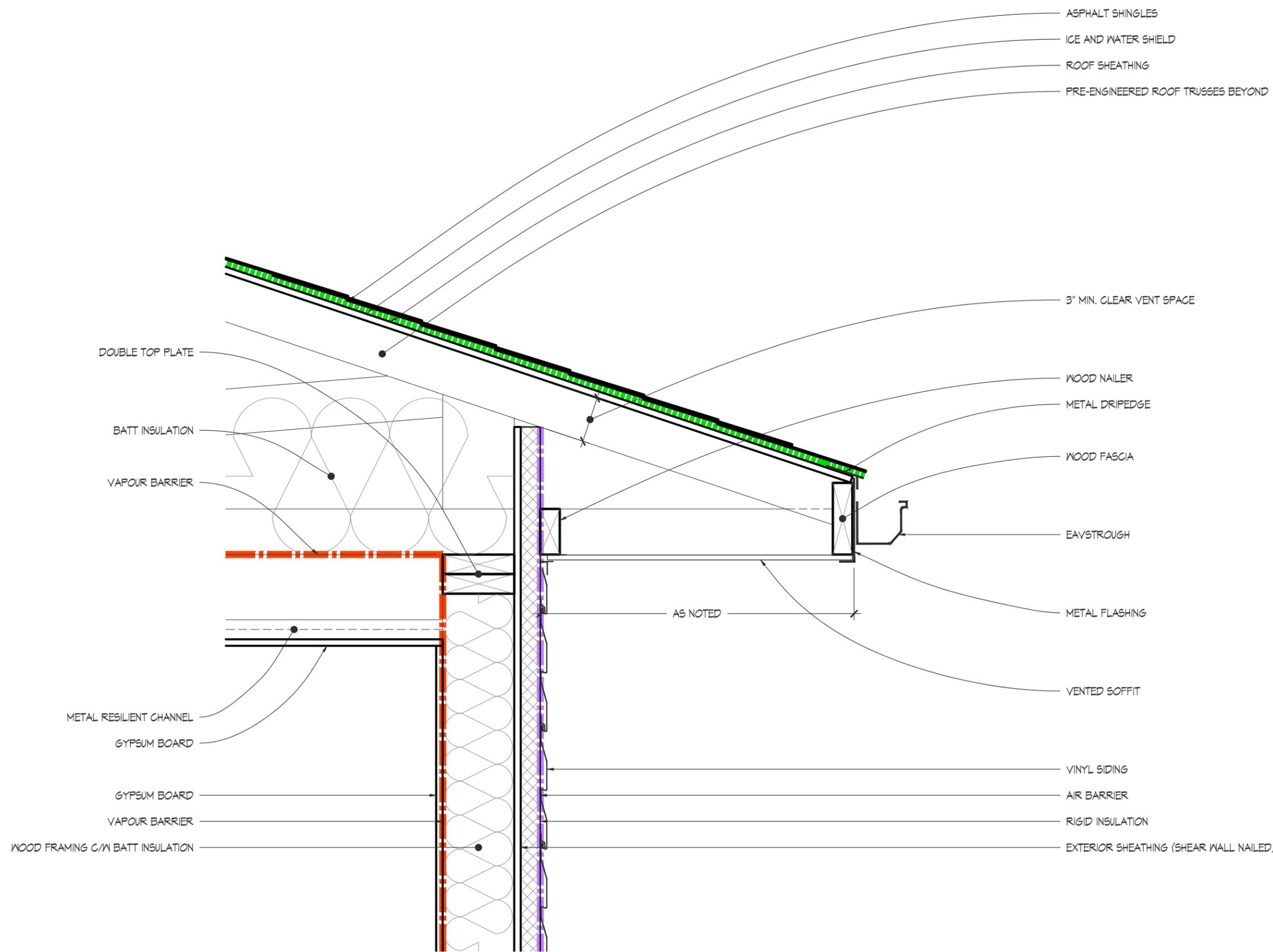
PROJECT 2603 DRAWN BY R. VIS BCN 26412/100640

DATE MAR. 5, 2026 SCALE 1 1/2" = 1'-0"

DESCRIPTION TYPICAL PERIMETER FLOOR SLAB DETAIL

DRAWING

D101



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QUALIFICATION INFORMATION
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RYAN VIS M.A.A.T.O. *Ryan Vis* 26412
 NAME SIGNATURE BCN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE

VISION DESIGN & DEVELOPMENT 100640
 FIRM BCN

REGISTRATION INFORMATION
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 (REVISED)**

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PROJECT 2603 DRAWN BY R. VIS BCN 26412/100640

DATE MAR. 5, 2026 SCALE 1 1/2" = 1'-0"

DESCRIPTION
 TYPICAL ROOF DETAIL

DRAWING
D102

